

TO LET

Warehouse & Office
With Waste Transfer Licence
Approx. 5,975 Sq. Ft. (555.08 Sq. M.) G.I.A.

BLOCK A, TUSKITE WORKS

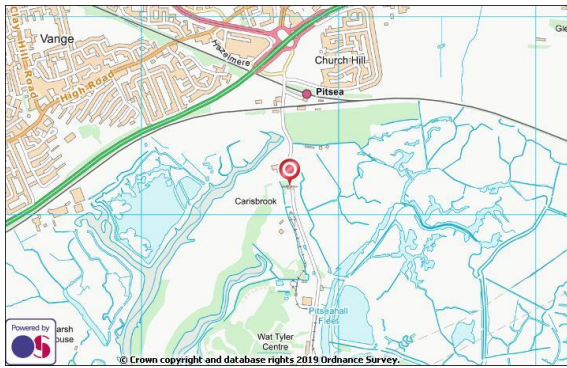
Pitsea Hall Lane, Pitsea, Basildon, Essex, SS16 4UH



- Warehouse Space 3,121 Sq. Ft.
- Office Space 1,822 Sq. Ft.
- Hardstanding/Parking 6,000 Sq. Ft.
- Access Suitable For HGV's
- Easy Access To A13
- Waste Transfer Licence

KEMSLEY^{LLP}
PROPERTY CONSULTANTS

01268 532425
www.kemsley.com



LOCATION

The property is ideally located on an established estate providing convenient vehicular access to the A13. Also, only a short walking distance from Pitsea train station. Pitsea is situated in the Thames Gateway approximately 30 miles to the east of London accessed via the A127 and A13 trunk roads with direct links to the M25 motorway.

DESCRIPTION

The available accommodation comprises Factory or Workshop/Warehouse premises. Main building offering a total of some 5,975 sq. ft. of space with integral WC's and store/office. Adjoining these, a range of office suites, domestic/staff kitchen and store. Front forecourt/parking 6,000 sq. ft. with two access points.

ACCOMMODATION

Total 5,975 Sq. Ft. (555.08 Sq. M).

The above floor areas are approximate and have been measured on a gross internal basis.

TENURE

The premises are available upon new lease terms, further details upon application.

EPC

E – 121.

RENT

£40,000 per annum exclusive.

VAT

All rents, prices and premiums are exclusive of VAT under the Finance Act 1989.

BUSINESS RATES

From enquiries made of the Local Authority we are advised the premises has a rateable value of £19,750. Based upon the current Uniform Business Rate we believe the rates payable amount to £9,697.25 for 2019/20.

PLANNING

Change of use was granted on 2nd February 2016 for the building to become a waste transfer station to facilitate the reclamation and recycling and storage of spent batteries and accumulators. Further information can be found at www.essex.gov.uk/viewplanning under application no: ESS/35/15/BAS.

SERVICE CHARGE

A service charge is applicable. Further details on application.

LEGAL FEES

Each party to bear their own legal costs incurred.

CONSUMER PROTECTION REGULATIONS

It is recommended that applicants seek independent professional advice in relation to the acquisition of this property. Further information is available from the Useful Links page on our website.

CONTACT

Strictly by appointment via sole agents

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